



## 130 Hartington Street

Barrow-In-Furness, LA14 5TW

Offers In The Region Of £130,000



4



1



2



D

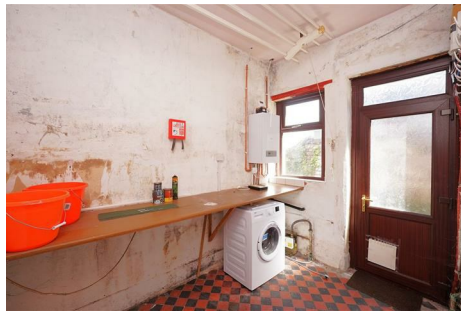




# 130 Hartington Street

Barrow-In-Furness, LA14 5TW

## Offers In The Region Of £130,000



*A spacious 4-bedroom terraced home in a convenient location, ideal for a wide range of buyers. The property requires updating but offers plenty of potential to create a fantastic family home. Benefitting from a rear yard and offered with no onward chain, this is a great opportunity for those looking to put their own stamp on a property.*

Welcoming you to this property is a neatly presented astroturfed forecourt, a low-maintenance yet welcoming entrance that adds a touch of green to this charming terraced home. As you cross the threshold, you're met with the characterful detail of traditional tiled flooring, offering an immediate sense of classic style.

To the right, the home opens into a generously proportioned lounge and dining room, gracefully connected by a wide arched walkthrough. The front lounge is bathed in natural light, thanks to the beautiful bay window that not only brightens the space but also enhances its sense of depth and openness. It's a perfect setting for both quiet evenings and entertaining guests. The adjoining dining area continues the sense of space, providing an ideal environment for family meals or social gatherings.

To the rear, the kitchen stretches out into a surprisingly spacious area — well-suited for culinary creativity — with ample room to tailor the layout to your taste. Beyond this, a separate utility room adds practical convenience, keeping laundry and storage tucked neatly away. From here, a rear door leads directly out to the private yard, a secure and versatile space that could be enhanced with planters or seating.

Upstairs, the layout continues to impress. Four bedrooms offer flexibility for a growing family, guests, or working from home. Three of the rooms are comfortably sized to accommodate double beds, each with its own potential to be styled as restful retreats. The fourth bedroom is perfectly sized for a single bed or could serve as a bright and quiet study. The family bathroom completes the upper floor — well-positioned and ready for personalization.

Located in an ideal setting with convenient access to local amenities, this property is rich with potential, the size and layout offer an exciting canvas for future plans.

### Lounge/Diner

27'8" x 11'6" (8.45 x 3.51 )

### Kitchen

16'0" x 9'6" (4.88 x 2.90)

### Utility

6'9" x 10'0" (2.07 x 3.06 )

### Bedroom One

12'4" x 15'3" (3.76 x 4.67 )

### Bedroom Two

9'10" x 12'4" (3.00 x 3.78 )

### Bedroom Three

9'7" x 8'11" (2.94 x 2.74 )

### Bedroom Four

9'7" x 6'10" (2.94 x 2.10 )

### Bathroom

6'7" x 6'1" (2.02 x 1.87 )



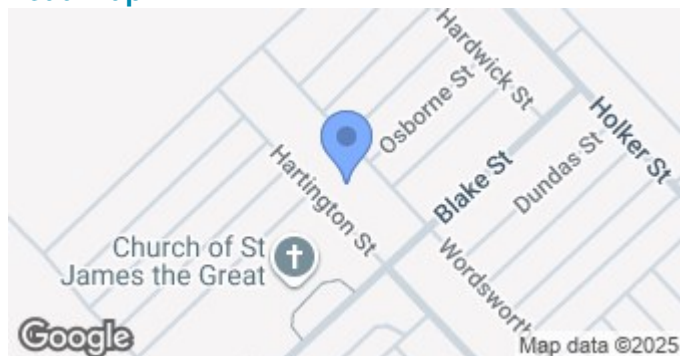


- Ideal for a Range of Buyers
  - No Onward Chain
  - Rear Yard
  - Gas Central Heating
- Convenient Location
  - Close to Amenities
  - Double Glazing
  - Council Tax Band - B

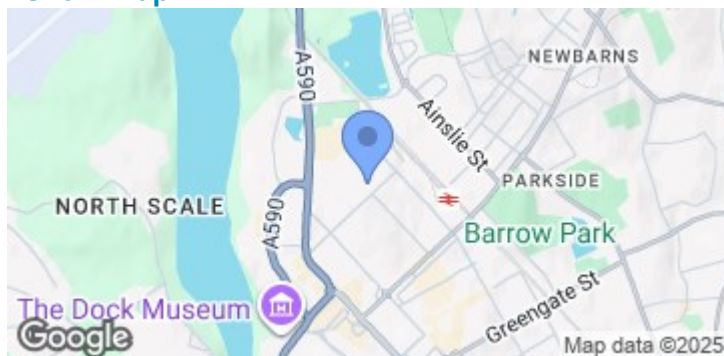




## Road Map



## Terrain Map



## Floor Plan



**We are local, family run business who are wholly independent which means we can recommend services to most suit your needs. Our aim is to provide quality advice and expertise at all times, so you can make an informed decision whether buying or selling.**

Estate agents are required by law to check a buyers /sellers identity to prevent Money Laundering and fraud. You do have to produce documents to prove your identity or address and information on your source of funds. Checking this information is a legal requirement to help safeguard your transaction, and failing to provide ID could cause delays. Corrie and Co, outsource these checks to speed up the process. The company does charge for such checks, please ask for more information and guidance on associated costs.

To ensure your move is stress free, we can help with Mortgage advice. We work alongside local Solicitors, offering competitive conveyancing services. Ask for further information.

